

137-139 Pleasant St

Windows, roof dormer, and garage deck

Ari Weiland & Hope Brosnan



Arlington Historic District Commissions

Application for Certificate

(Read attached instructions
before completing form)

For Commission Use Only:
Date Rec: _____
Hearing Date: _____
Certificate #: _____
Monitor: _____

Certificate Requested:

Appropriateness – for work described herein

Minor project Major Project Demolition

Non-Applicability – for the following reason(s):

Not subject to public view

Maintenance, repair, or replacement using same design and materials

Proposed change specifically excluded from review under Bylaw

Other: _____

Hardship – financial or otherwise and does not conflict substantially with
the intent and purposes of the Bylaw

General Information:

Property Address 137-139 Pleasant St District Pleasant

Owner(s) Hope Brosnan & Ari Weiland Email math1man@gmail.com

Owner's Phone (h) 224-619-5098 (w) (fax)

Owner's Address 139 Pleasant St, Arlington, MA 02476

Applicant (if not Owner) _____

Applicant's Phone (h) (w) (fax)

Applicant's Address _____

Applicant's Relationship to Owner _____

Contractor Premier Services Company Phone 781-760-9665

Architect Vina Design Inc Phone 774-239-3657

Dates of Anticipated Work: Start ASAP Completion

Description of Proposed Work: (attach additional pages as necessary) Please include a description of how
the proposed work (if a change or addition) is historically and architecturally compatible with the building
and the District as a whole.

There are a few separate items. Add a new dormer to accommodate a taller ceiling above the 2-3 floor stairwell, which
currently has a lowest-point height of 5' 2". Expand the existing back deck out over the garage, replacing the garage's
existing roof. Lastly, our architect informed us that the third story bedroom windows do not meet fire codes for egress
windows, so we need to modify them to maintain the rooms as legal bedrooms.

Required Documentation Acknowledgement:

(see attached instructions)

I acknowledge that I am required to provide supporting documentation, including the attached "Supporting
Documents Checklist", by the deadlines indicated in the instructions. I understand that if such documents
are not provided in a timely manner, this application will be considered to be incomplete and Commission
action may be delayed.

I have read the attached instructions and, to the best of my knowledge, the information contained in
this application is accurate and complete. I also give permission for members of the AHDC to access
the property for the purpose of reviewing this application and work done under any certificate issued
to me.

Owners Signature(s): Ari Weiland Date: 4/27/2021

Project: (Interior Renovation)

Single Family Home 137 Pleasant Street Arlington, Massachusetts

Historical Meeting Set

List Of Drawings:

T-1 Title Sheet
 D-1 Demolition plans, and notes
 D-1.1 Demolition plan, section and notes
 D-1.2 Building sections and notes
 A-1 Proposed plans, and notes
 A-1.1 Proposed plans, and notes
 A-3 Building sections, and notes
 S-1 Foundation plan and detail
 S-2 Framing plans and notes

Construction Notes:

- 1- All work shall conform to the Massachusetts State Building Codes, the latest edition. In case of conflict, local regulations and ordinance shall govern
- 2- Contractor shall verify all dimensions in field, if discrepancy occurs, notify the Engineer or Architect immediately. All work in the affected area shall not be continued until uncertainty are clarified
- 3- Concrete footings shall be properly cured, so that concrete strength can be fully developed
- 4- All exposed wood members shall be pressure treated

2015 IRC Code Review

R310 Emergency Escape and Rescue Opening:
 R310 Providing two means of egress per dwelling: (Comply)
 R310.2.1 H-28" > 24"
 W-30" > 20"
 S-24" < 44"
 R314 Smoke Alarm:
 R315.3 Carbon monoxide alarms in dwelling units shall be installed outside of each separate sleeping area in the immediate of the bedroom (Comply)
 R315.4 Combination carbon monoxide and smoke alarms shall be permitted to be used in lieu of carbon monoxide alarms (Comply)

TABLE M1507.3.3(1) Continuous whole-house mechanical ventilation system airflow rate requirements						
Dwelling Unit	Number of Bedrooms					
Floor Area (Square Feet)	0 - 1	2 - 3	4	5 - 7	8 - 10	> 10
<1,500	30	45	60	75	90	
3,001 - 4,500	60	75	90	105	120	
4,501 - 6,000	75	90	105	120	135	
6,001 - 7,500	90	105	120	135	150	
>7,500	105	120	135	150	165	

2015 IRC Code Review

R311.1 Means of Egress:
 Provide two means of egress per dwelling: (Comply)
 R311.2 Egress Doors:
 Primary egress door shall be minimum clear width of (32") measured between the face of the door and the stop with door open at 90 degrees: (Comply)
 Secondary egress door shall be minimum clear width of (28") measured between the face of the door and the stop with door open at 90 degrees: (Comply)
 R311.2.1 Interior Doors:
 All interior doors providing access to habitable rooms shall have a minimum nominal width of 30" and nominal height of 78": (Comply)
 Doors providing access to bathrooms are permitted to be 28" nominal width; however, in existing building it's permit to be 24" nominal width: (Comply)
 R311.7.4.1 Stairs:
 Replace the phrase 7-3" with 8-3": (Comply)
 Replace the phrase 10" with 9": (Comply)
 R311.7.4.2 Winder treads stairs: (Comply)
 R313.1.1 Automatic Sprinkler: (NOT APPLICABLE)
 R313.2 Automatic Sprinkler:
 One-and-Two family dwelling having an aggregate area greater than 14,400 square feet shall have fire sprinkler installed: (NOT APPLICABLE)
 R314.5 Heat Detector:
 Heat detector installed in garage: (NOT APPLICABLE)
 R315.1 Carbon Monoxide:
 Carbon Monoxide alarm for New Construction and Existing dwellings shall be furnished, installed and maintained by owner: (Comply)
 R315.2 Fire Alarm:
 One alarm shall be installed on each story of a dwelling unit, including basement and cellars: (NOT APPLICABLE)
 R315.3 New Construction: (NOT APPLICABLE)
 R315.4 Existing Dwellings:
 Item #3-In an existing two-family dwellings that more than one bedrooms, the entire building shall be provide with alarms: (NOT APPLICABLE)
 R322.1.11 Basement: (Comply)

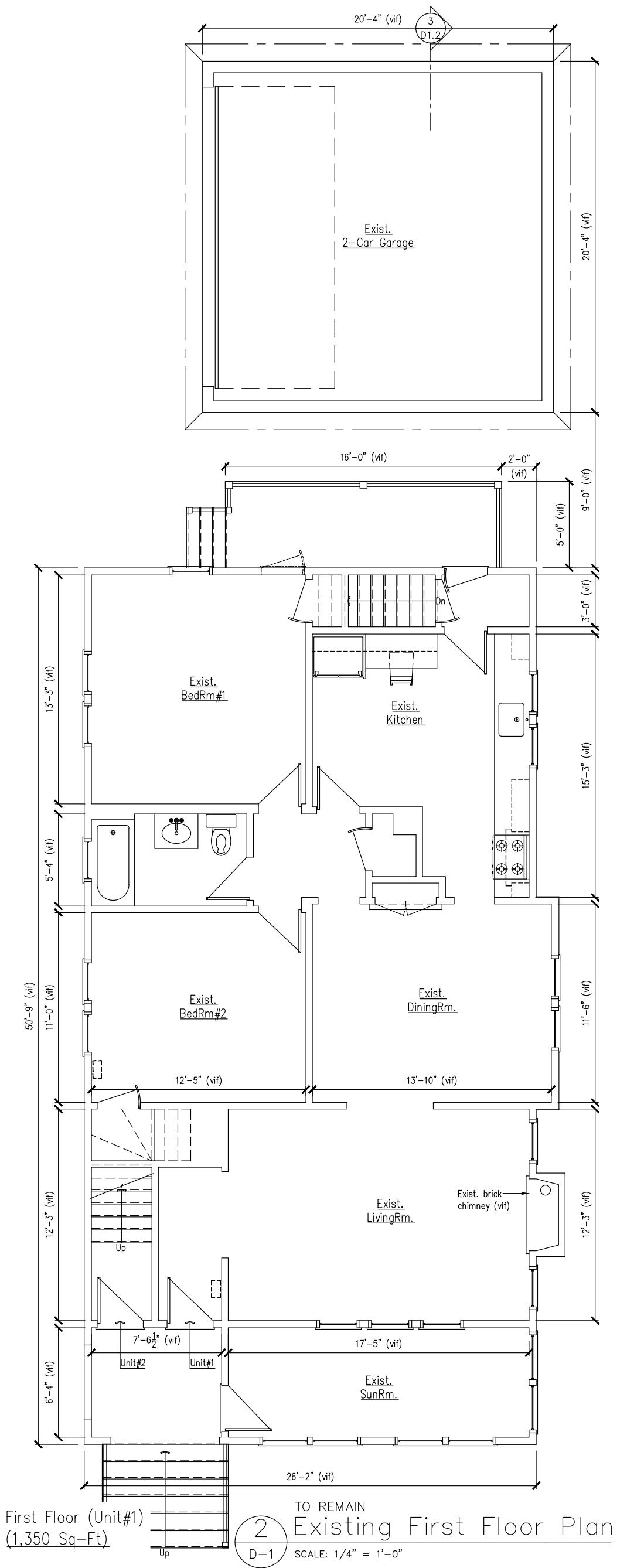
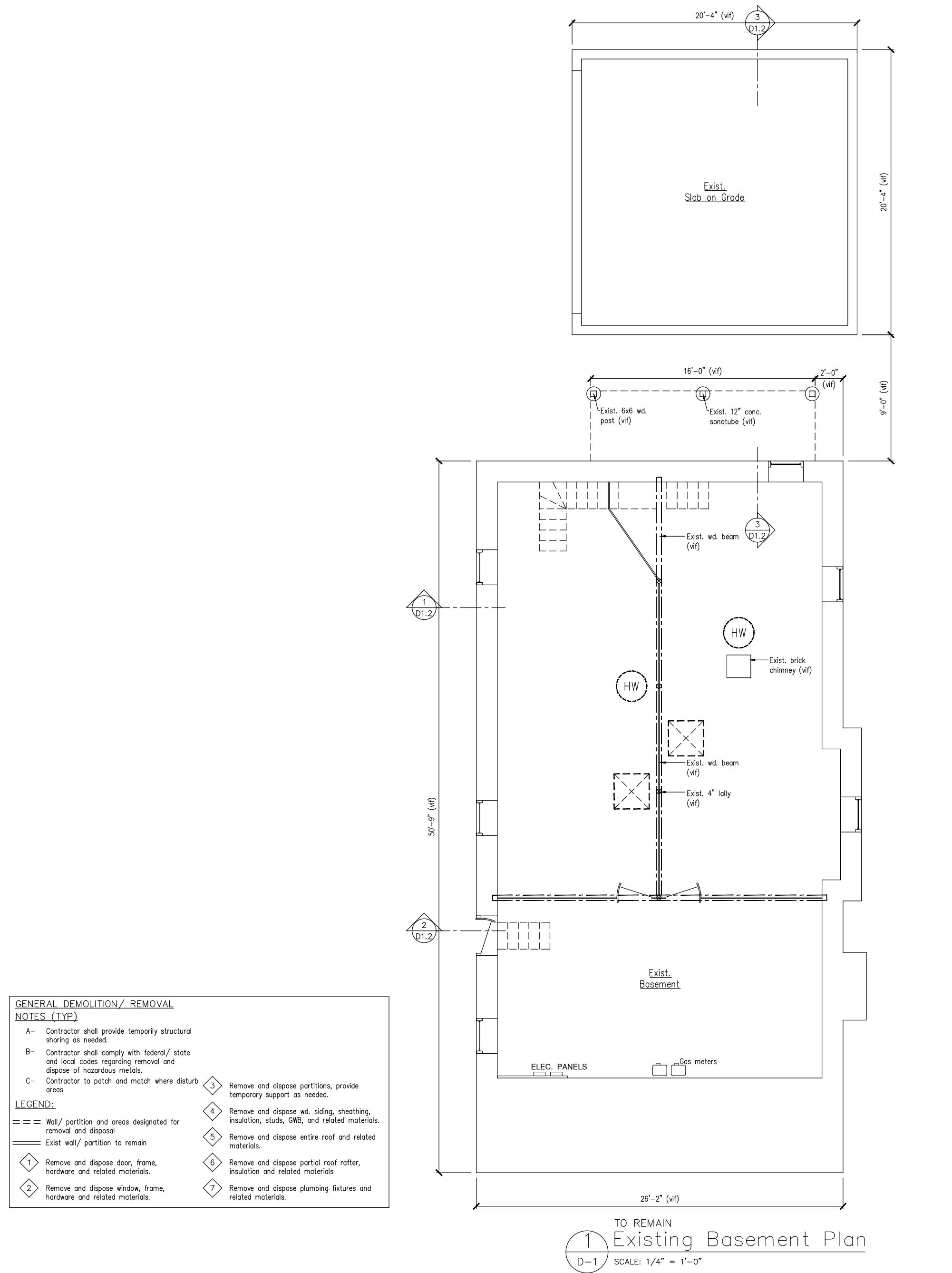
Title Sheet, and Notes

Revisions	Date
Revision-1	5/17/21
Revision-2	
Revision-3	

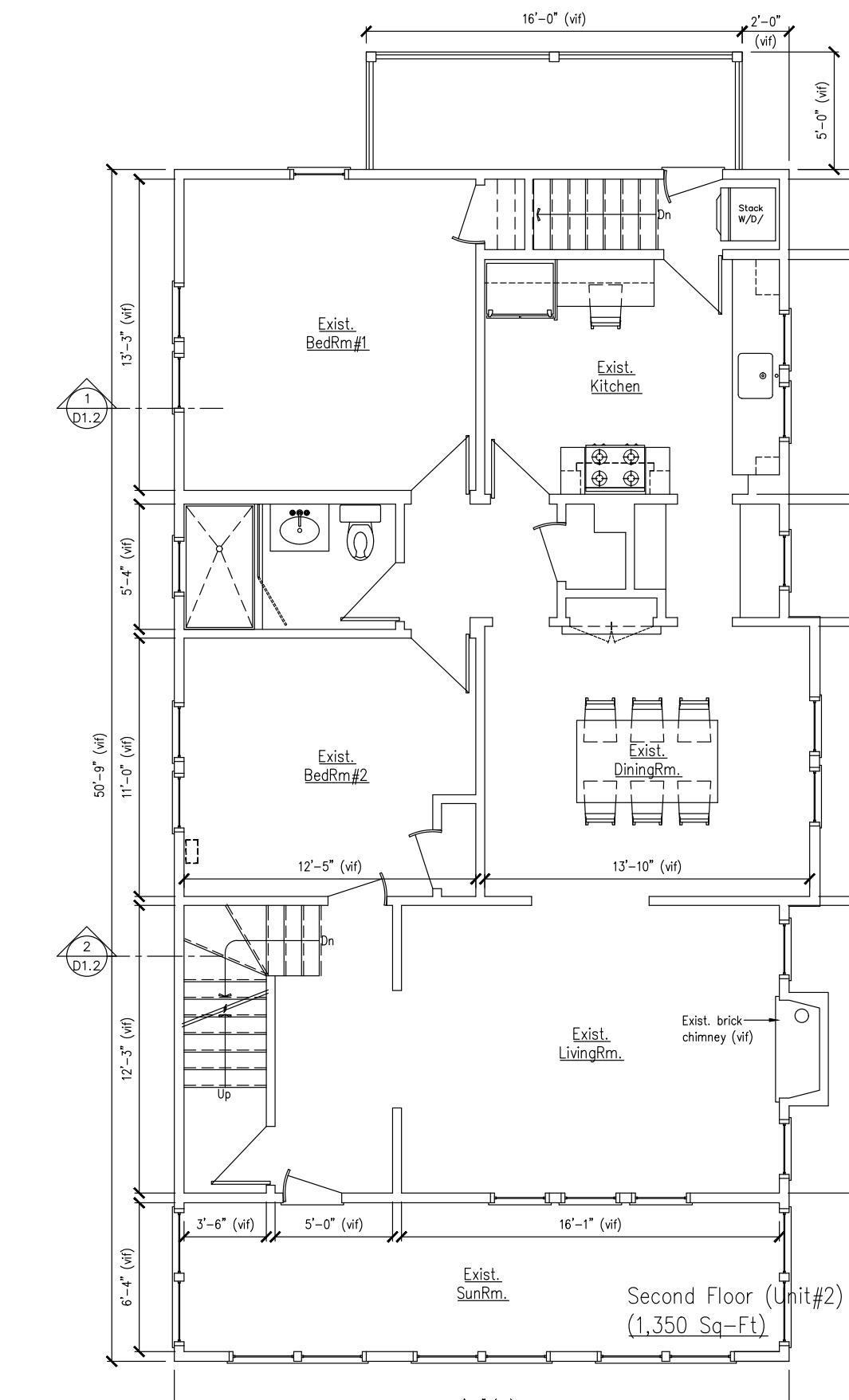
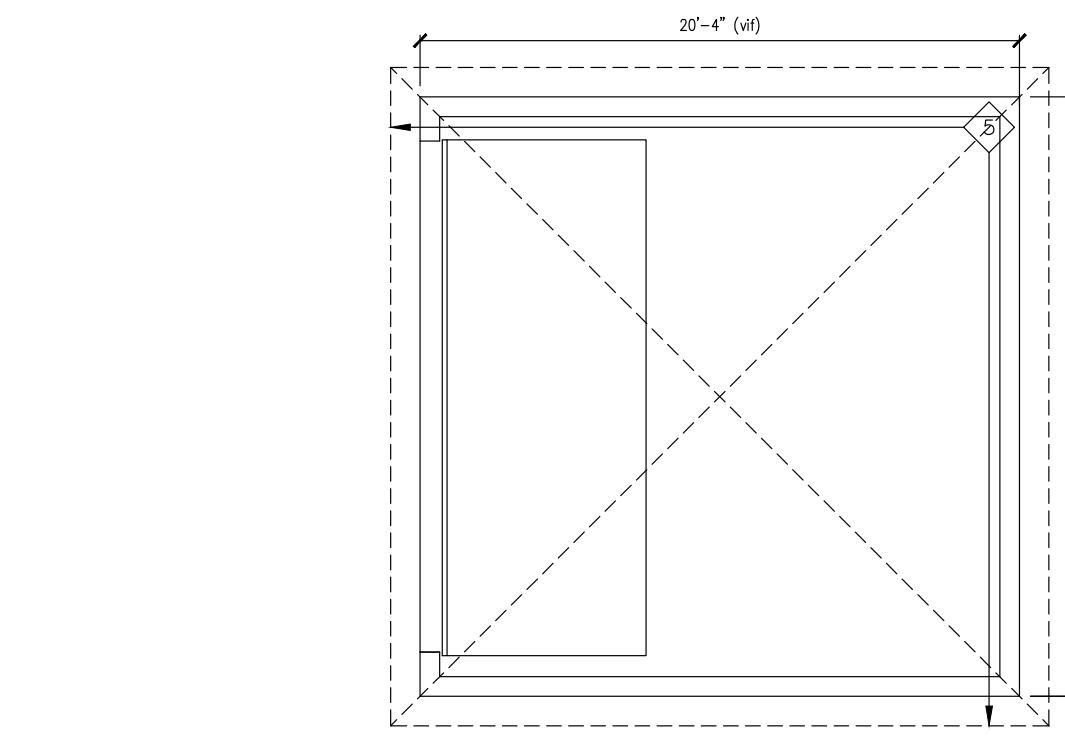
Scale	AS NOTED
Drawn / Check by	JL/ BAN
Date	3/2/21
Job No.	XX

T-1	
Sheet 1	of 7

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PROJECT Interior Renovation	
137 Pleasant Street Arlington, MA	
Existing/ Demolition Plans, and Notes	
Revisions	Date
Revision-1	5/17/21
Revision-2	
Revision-3	
Scale	AS NOTED
Drawn / Check by	JL/BAN
Date	3/2/21
Job No.	XX
D-1	



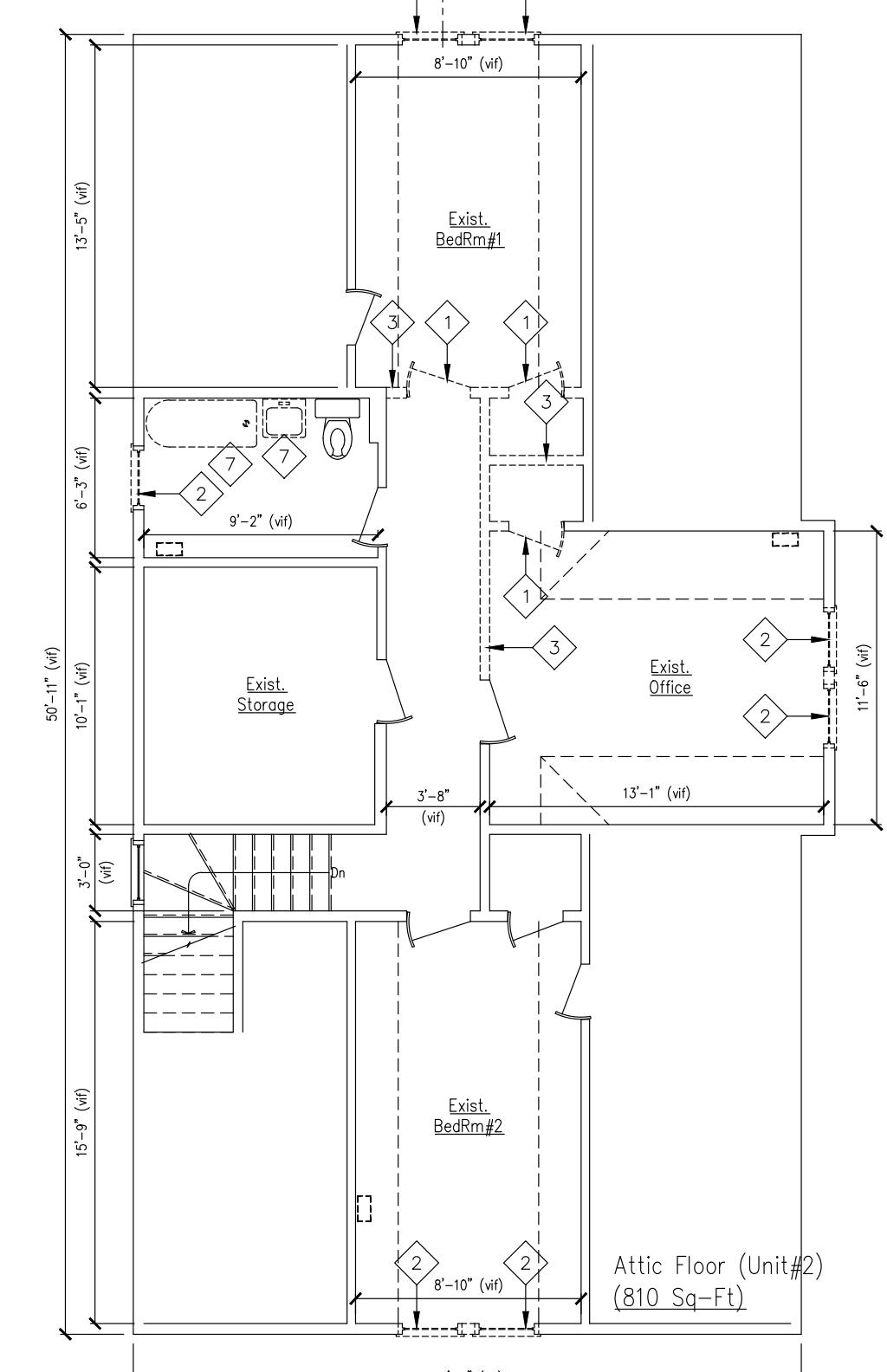
1 TO REMAIN
Existing Second Floor Plan
D-1.1
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION/ REMOVAL NOTES (TYP)

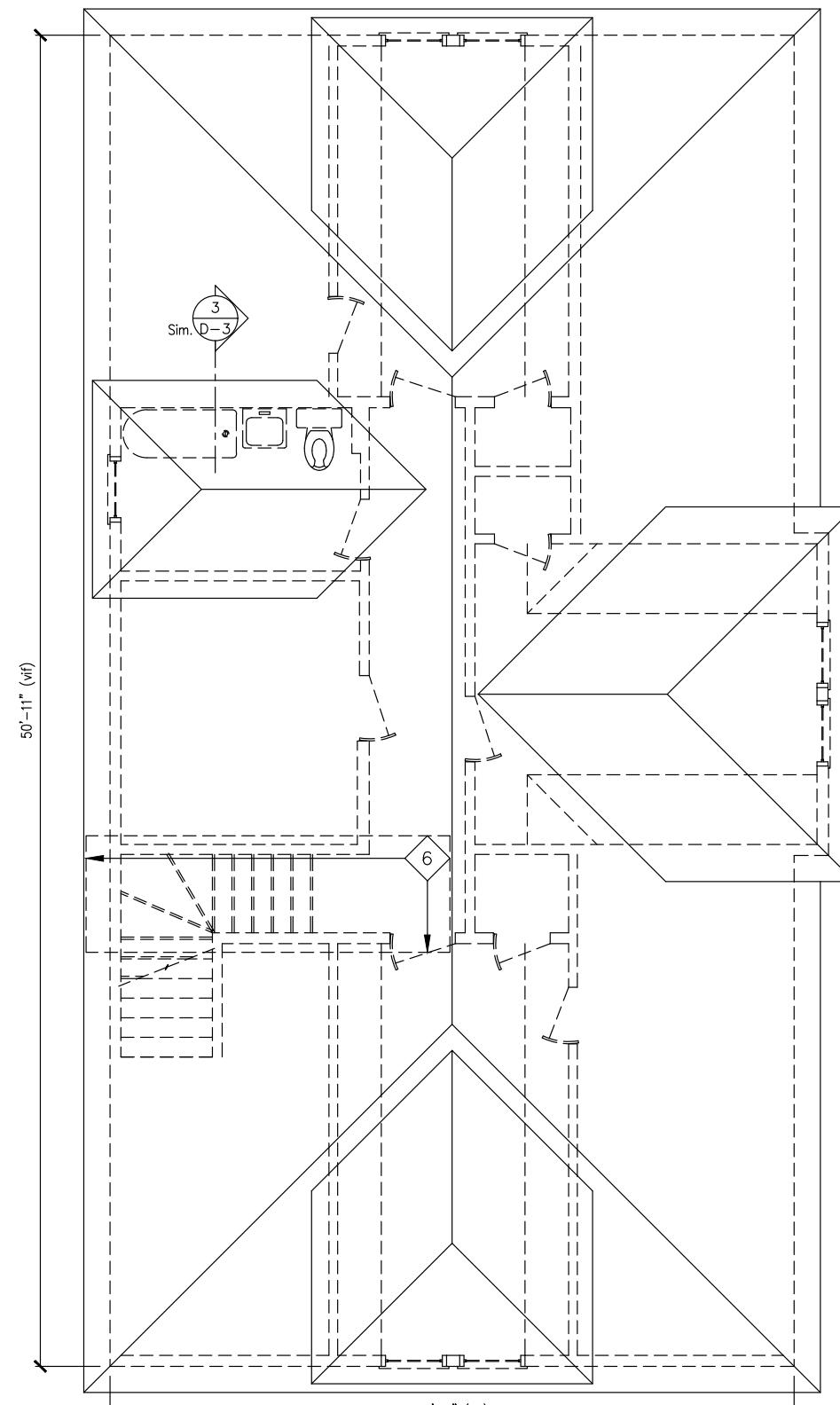
- A- Contractor shall provide temporary structural shoring as needed.
- B- Contractor shall comply with federal/ state and local codes regarding removal and dispose of hazardous metals.
- C- Contractor to patch and match where disturb areas

LEGEND:

- ==== Wall/ partition and areas designated for removal and disposal
- ===== Exist wall/ partition to remain
- ◇ Remove and dispose door, frame, hardware and related materials.
- ◇ Remove and dispose window, frame, hardware and related materials.
- ◇ Remove and dispose partitions, provide temporary support as needed.
- ◇ Remove and dispose wd. siding, sheathing, insulation, studs, GWB, and related materials.
- ◇ Remove and dispose entire roof and related materials.
- ◇ Remove and dispose partial roof rafter, insulation and related materials
- ◇ Remove and dispose plumbing fixtures and related materials.



2 TO MODIFY
Existing Attic Floor Plan
D-1.1
SCALE: 1/4" = 1'-0"



3 TO REMAIN
Existing Roof Plan
D-1.1
SCALE: 1/4" = 1'-0"

PROJECT Interior Renovation	
137 Pleasant Street Arlington, MA	
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Revision-1	5/17/21
Revision-2	
Revision-3	
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Job No.	XX
D-1.1	
Sheet 3 of 7	



2 Exterior LEFT Elevation
A-2 SCALE: 1/4" = 1'-0"



1 Exterior FRONT Elevation
A-2 SCALE: 1/4" = 1'-0"

Vina <small>architecture design inc engineering</small> 425 Park Ave, Worcester, MA 01610 Tel:774.239.3657 PH-Fax:774.321.6527 Email: vinadesign2008@gmail.com	
PROJECT Interior Renovation 	
137 Pleasant Street	Arlington, MA
Exterior Elevations	
Revisions	Date
Revision-1	6/7/21
Revision-2	
Revision-3	
Scale	AS NOTED
Drawn / Check by	JL/BAN
Date	3/2/21
Job No.	XX
A-2	

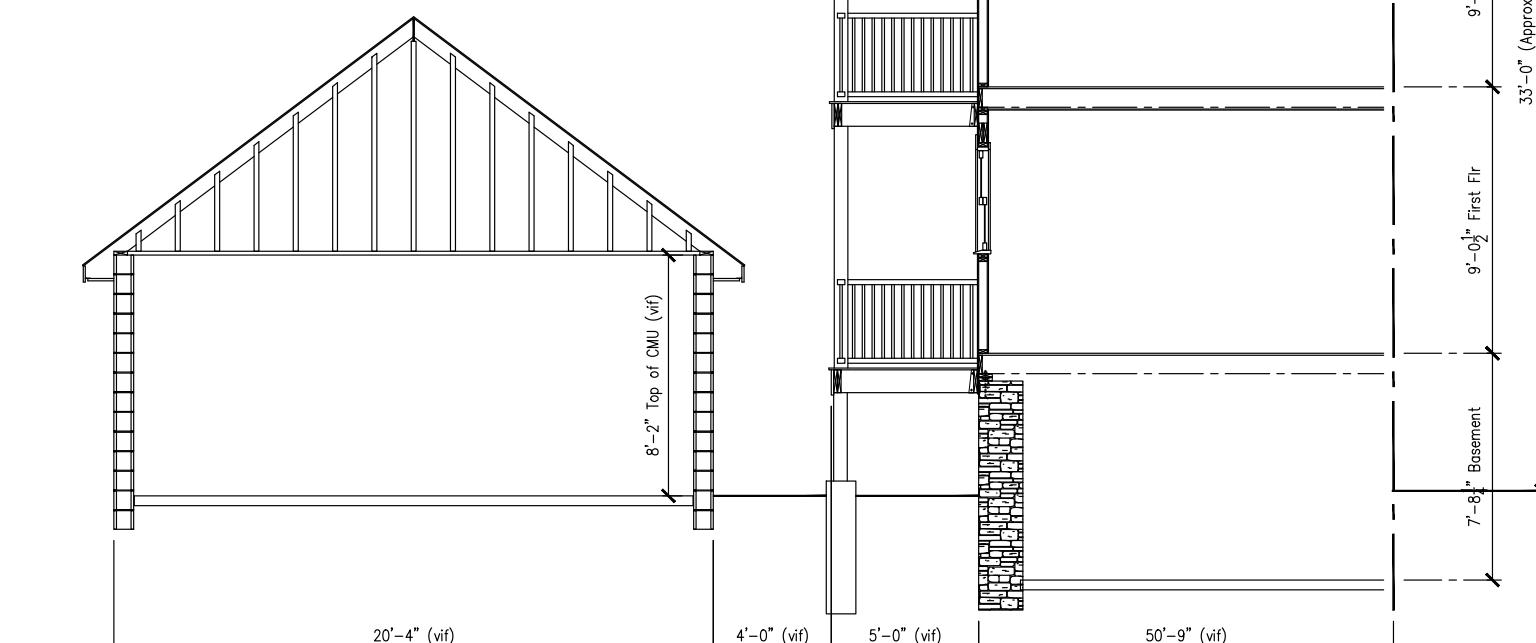
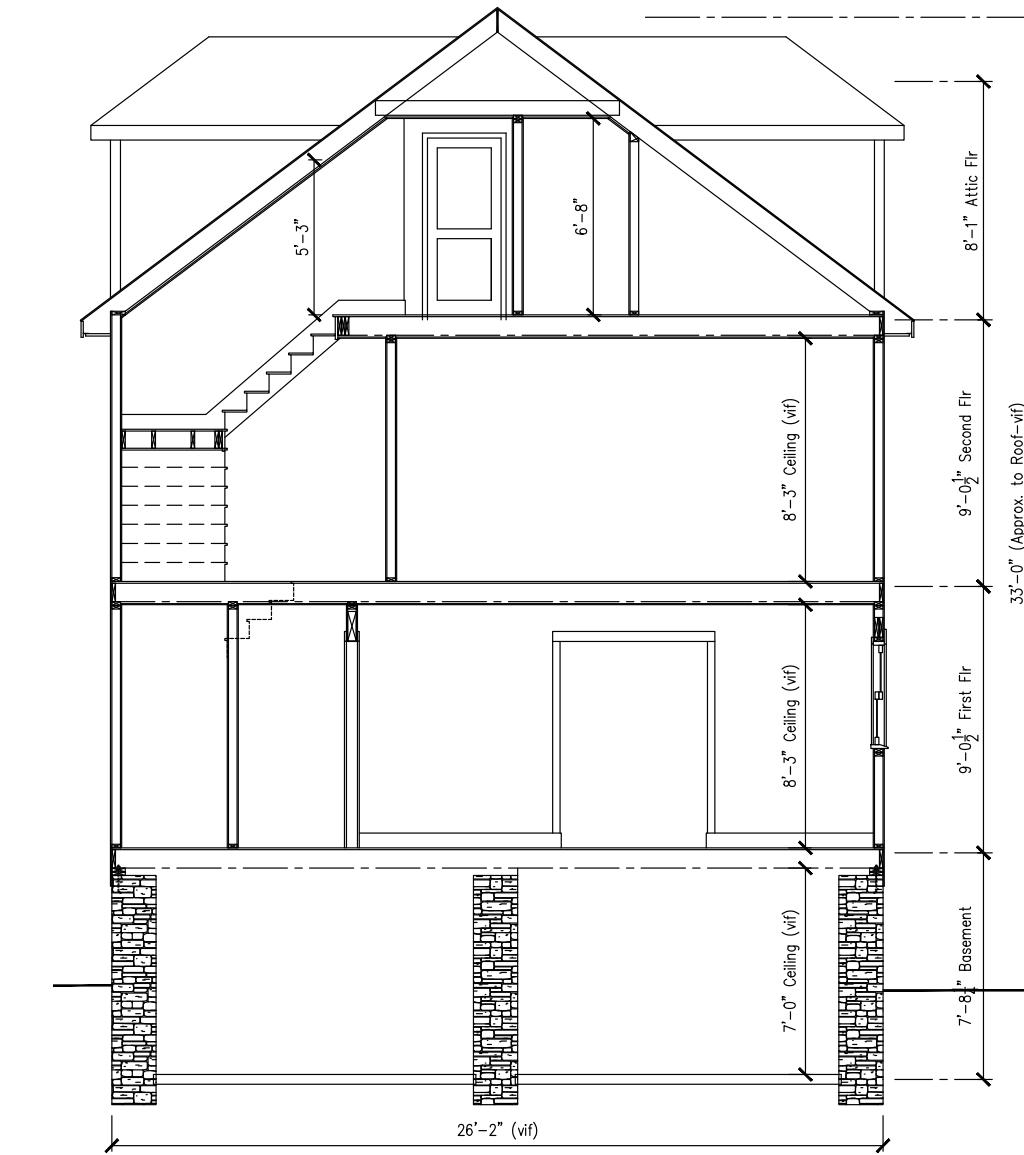
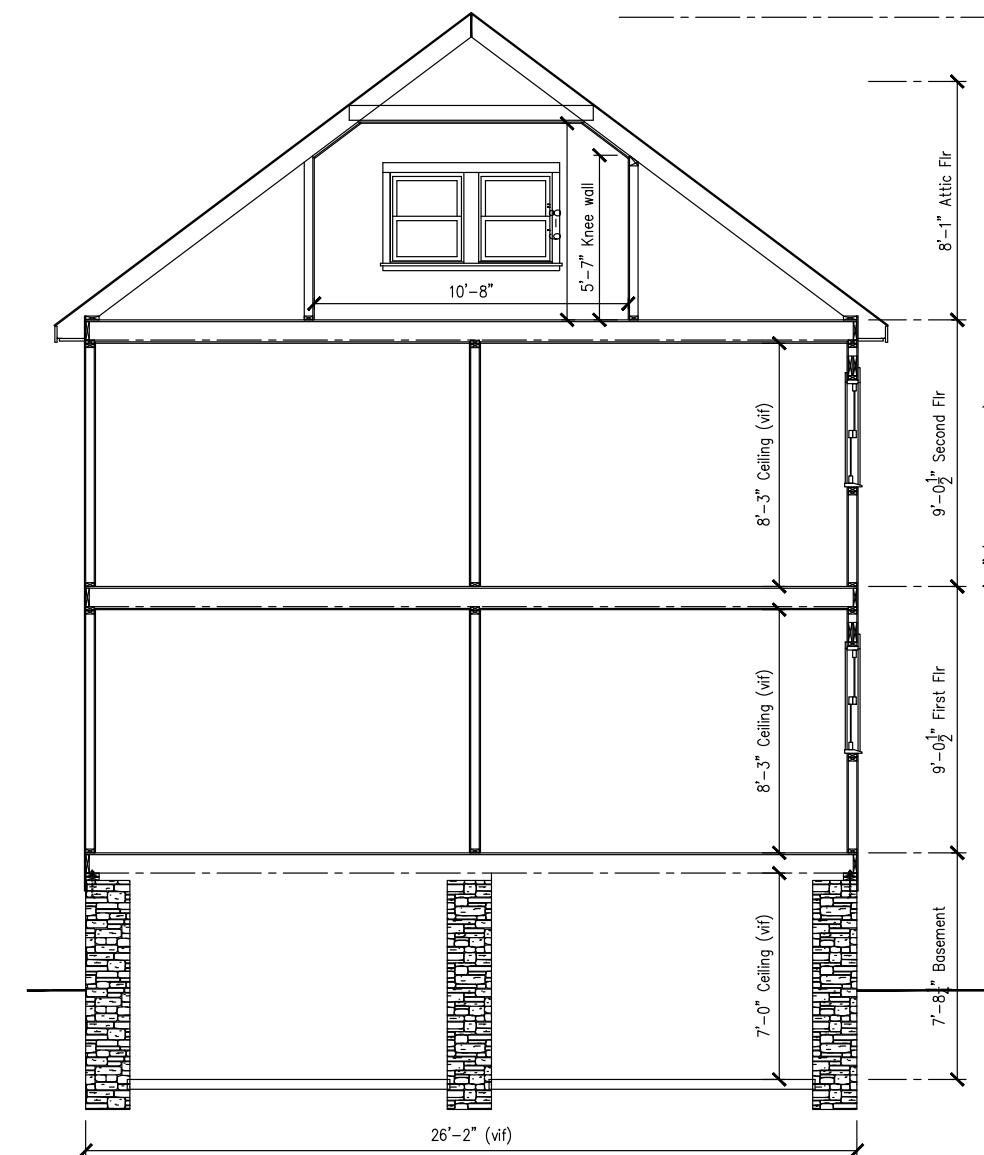


2 Exterior RIGHT Elevation
A-2.1 SCALE: 1/4" = 1'-0"



1 Exterior REAR Elevation
A-2.1 SCALE: 1/4" = 1'-0"

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137 Pleasant Street Arlington, MA									
 No. 5730 HANOVER MASS									
Exterior Elevations									
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A-2.1									

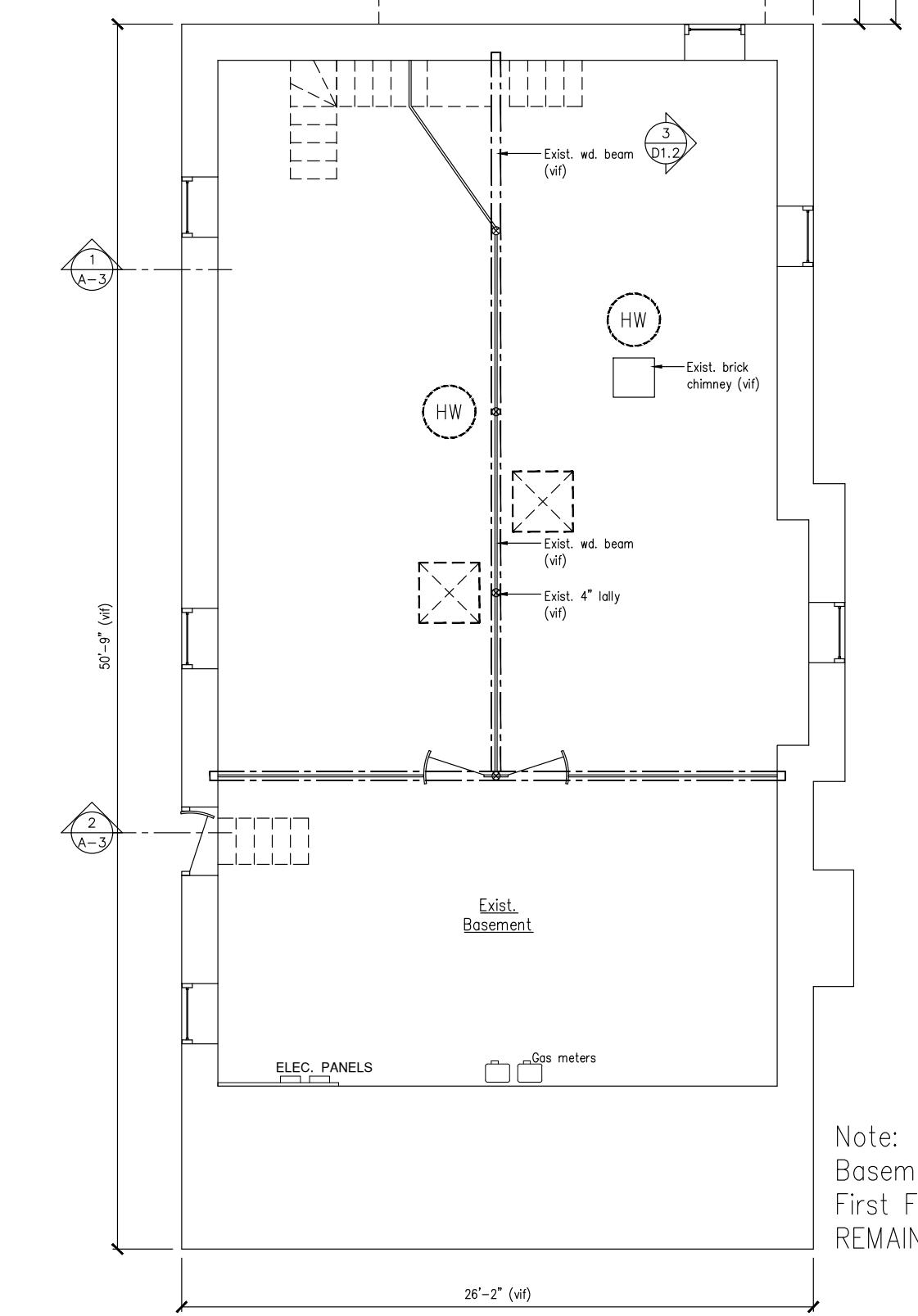
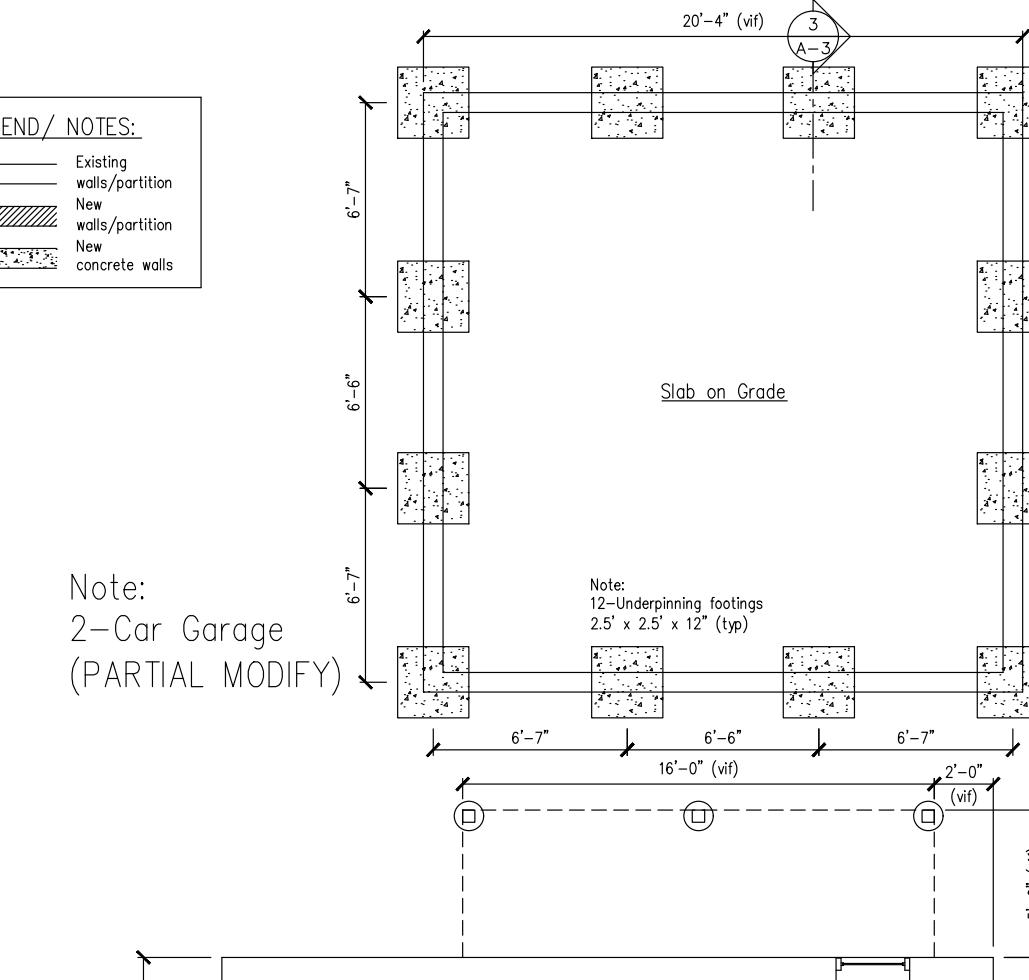


PROJECT	Interior Renovation
137 Pleasant Street	Arlington, MA
Existing Building Sections, and Notes	
Revisions	Date
Revision-1	5/17/21
Revision-2	
Revision-3	
Scale	AS NOTED
Drawn / Check by	JL/BAN
Date	3/2/21
Job No.	XX
D-1.2	

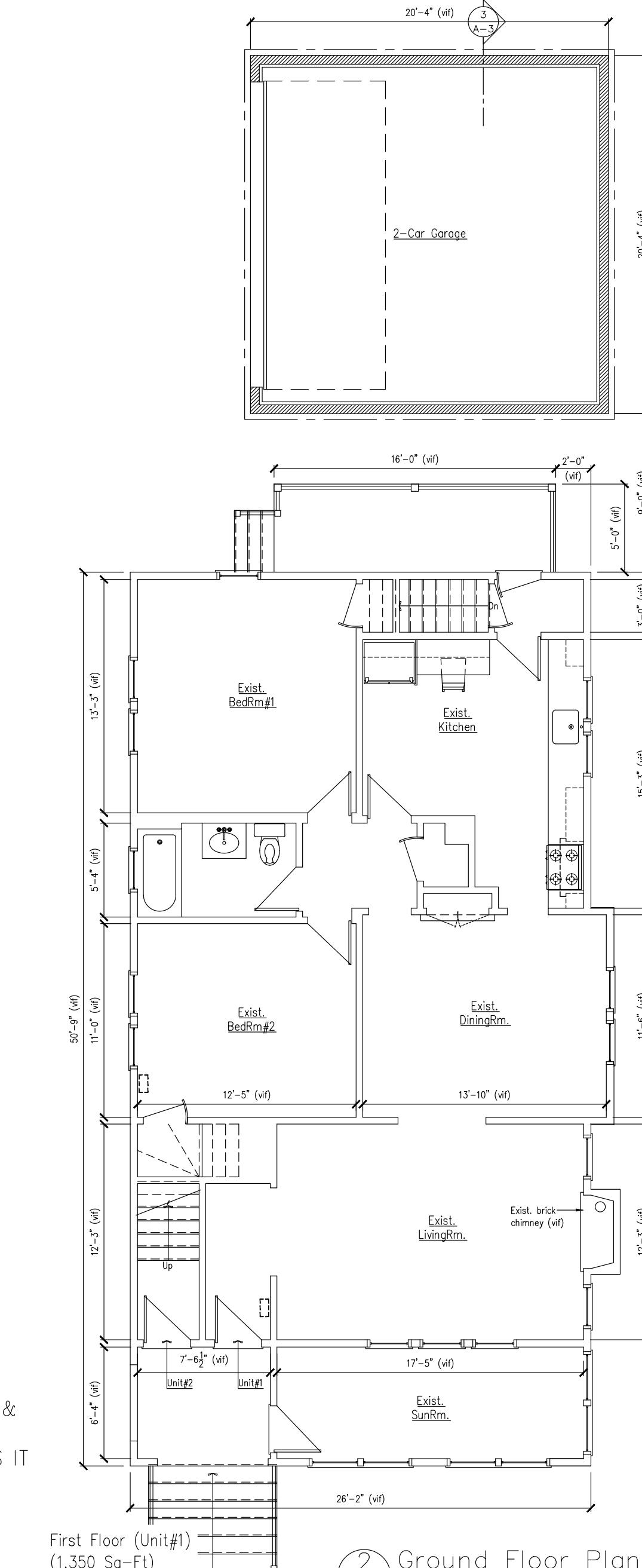
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LEGEND / NOTES:

- Existing walls/partition
- New walls/partition
- New concrete walls

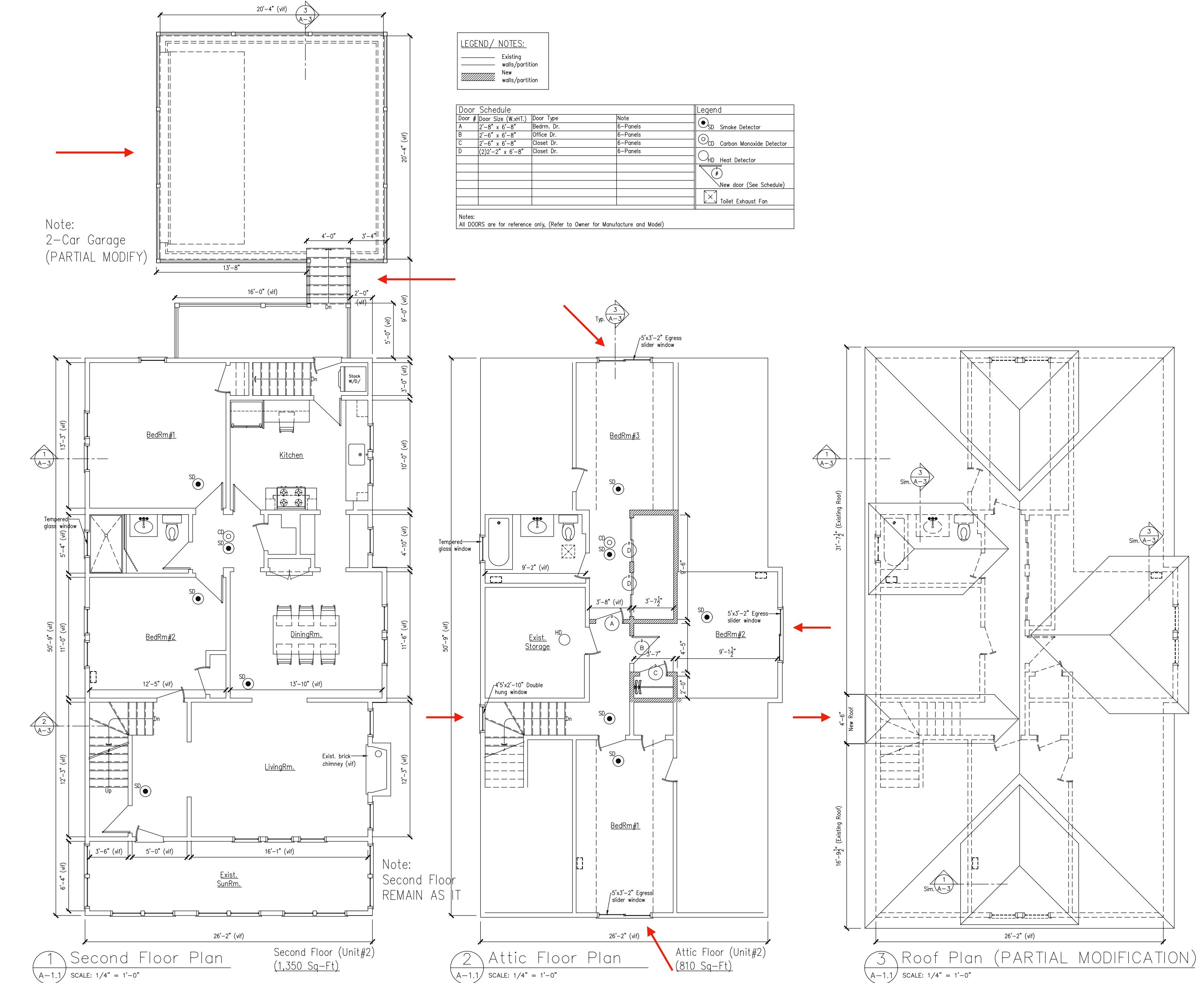


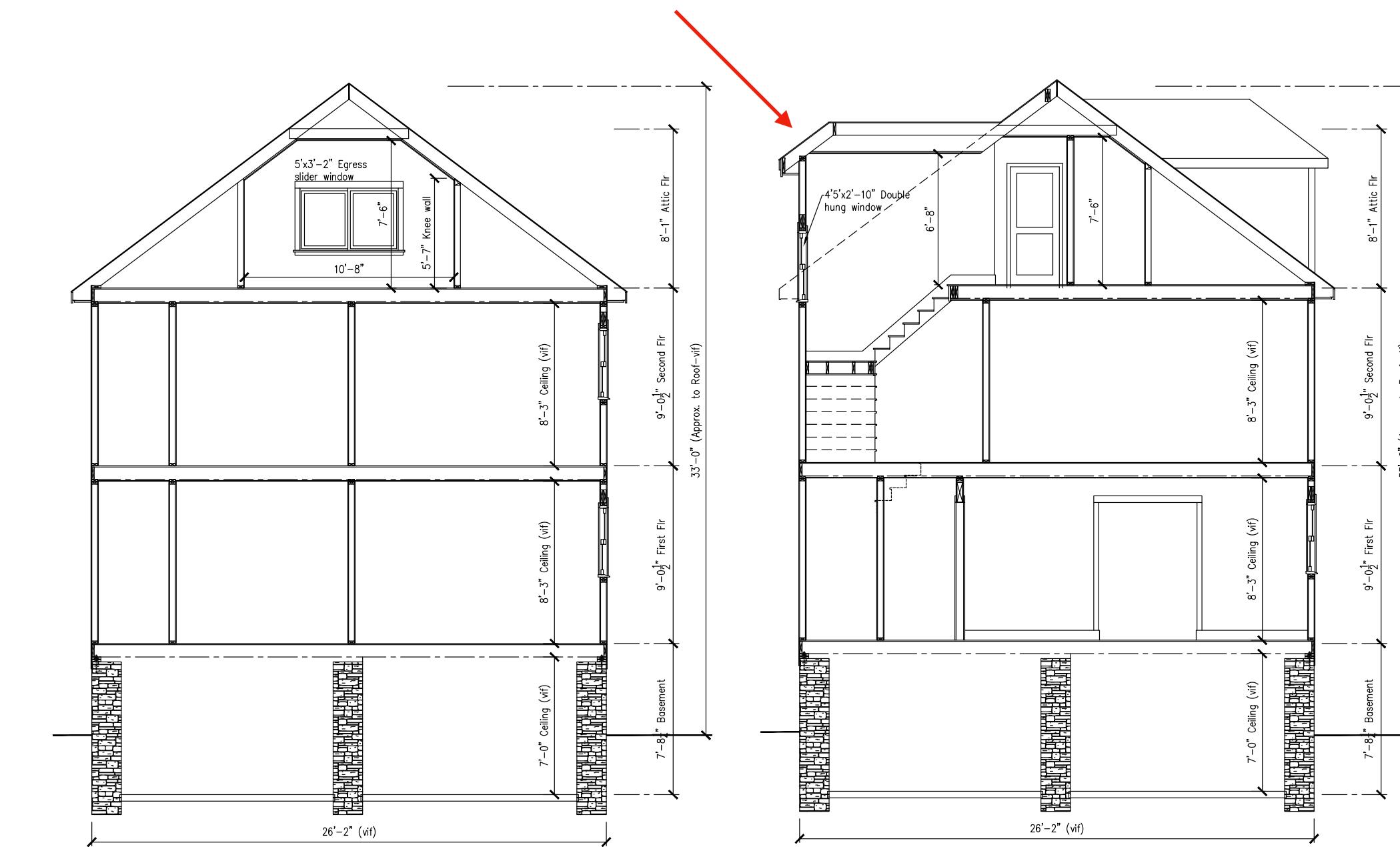
1 Foundation/ Footing Plan
A-1 SCALE: 1/4" = 1'-0"



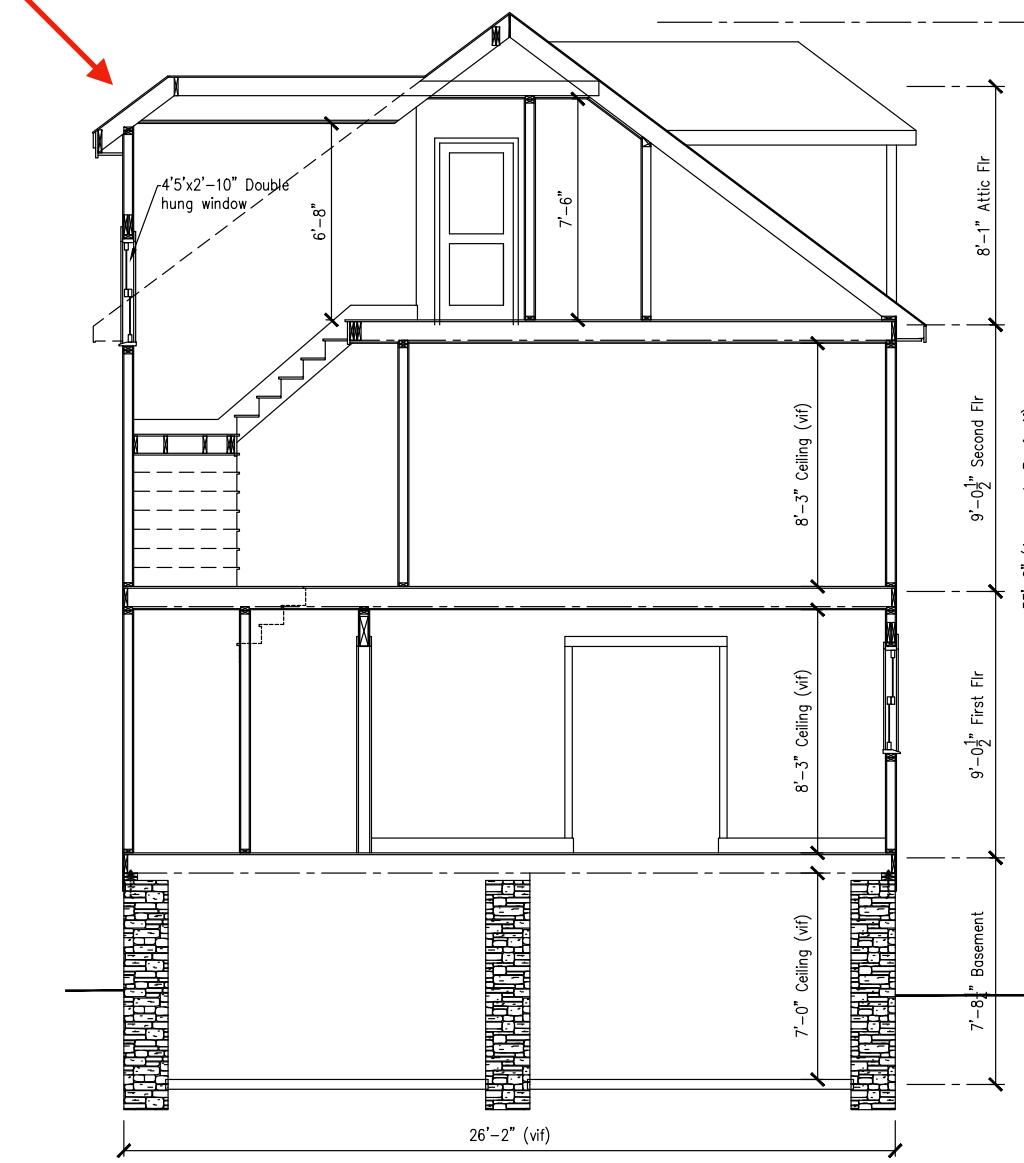
2 Ground Floor Plan
A-1 SCALE: 1/4" = 1'-0"

Vina design inc engineering	425 Park Ave, Worcester, MA 01610 Tel:774.239.3657 PH-Fax:774.321.6527 Email: vinadesign2008@gmail.com
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137 Pleasant Street	Arlington, MA
Floor Plans, and Notes	
Revisions	Date
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Revision-2	
Revision-3	
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A-1	

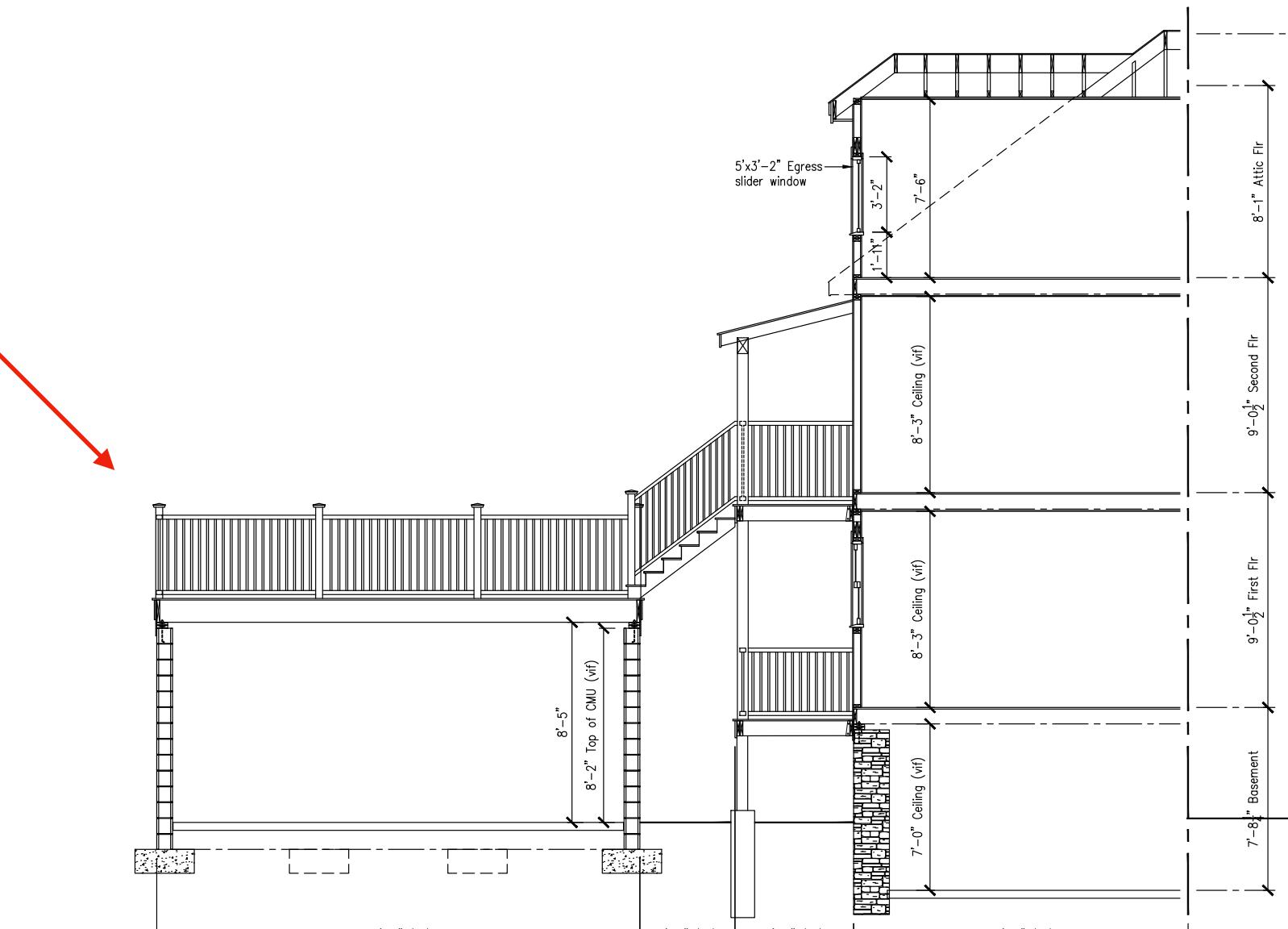




1 Building Cross Section
A-1 SCALE: 1/4" = 1'-0"

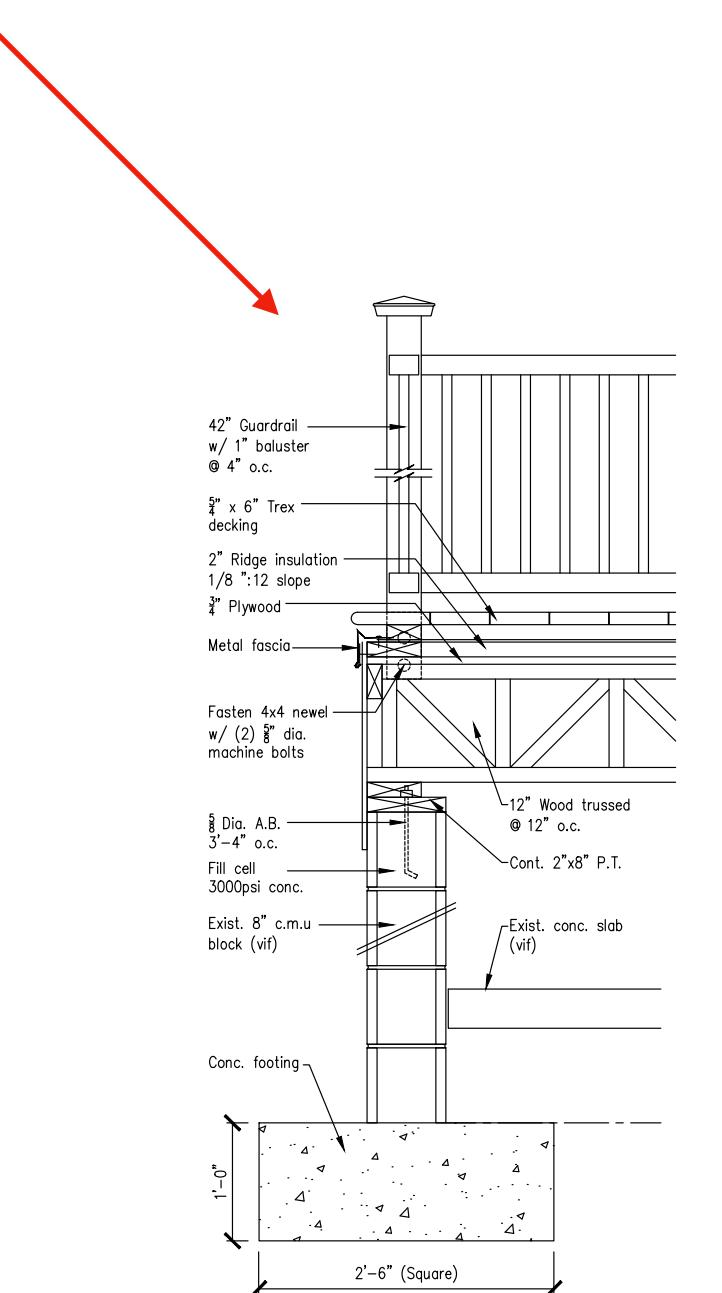


2 Building Cross Section
A-1 SCALE: 1/4" = 1'-0"

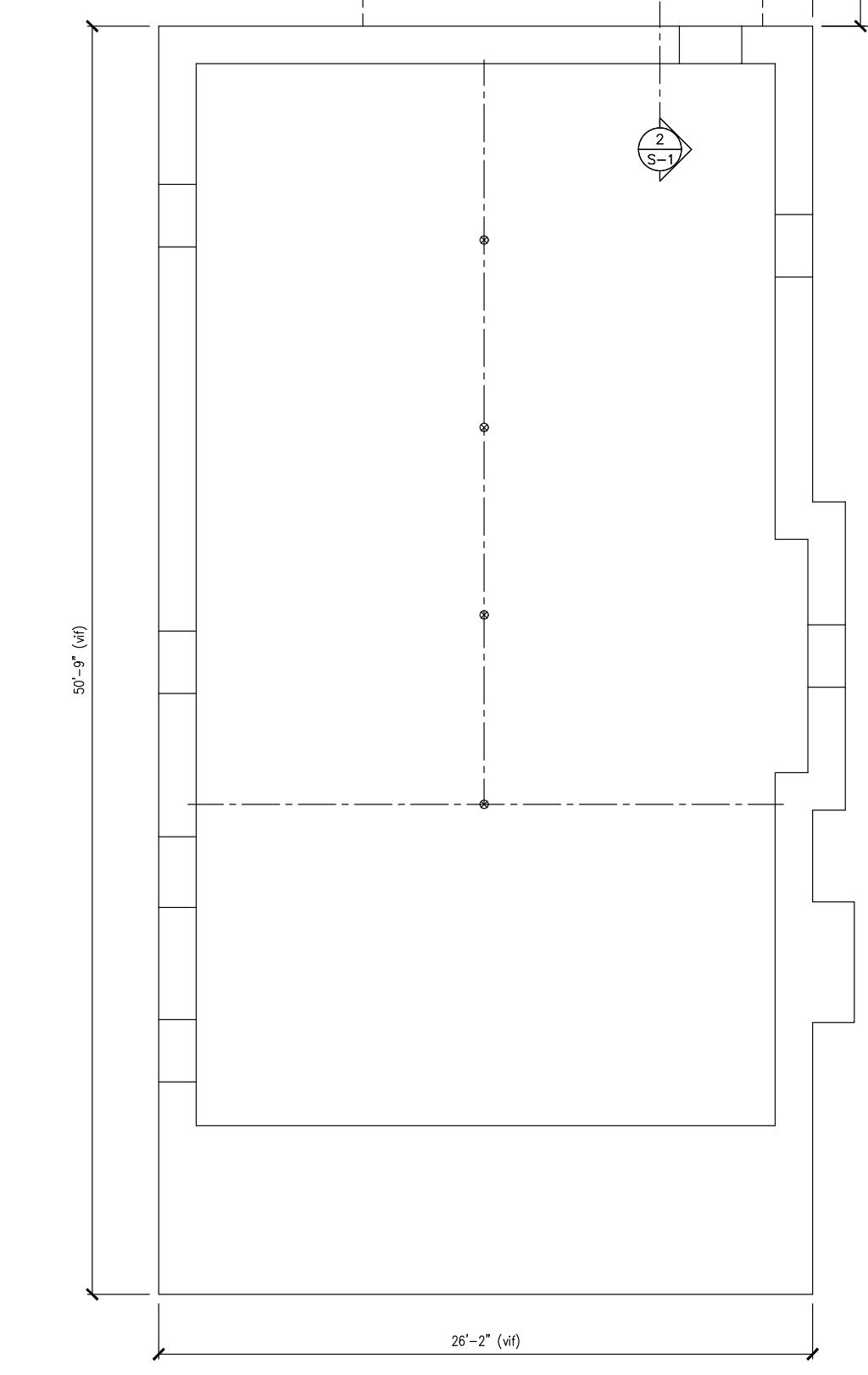


3 Partial Building Longitudinal Section
A-1 SCALE: 1/4" = 1'-0"

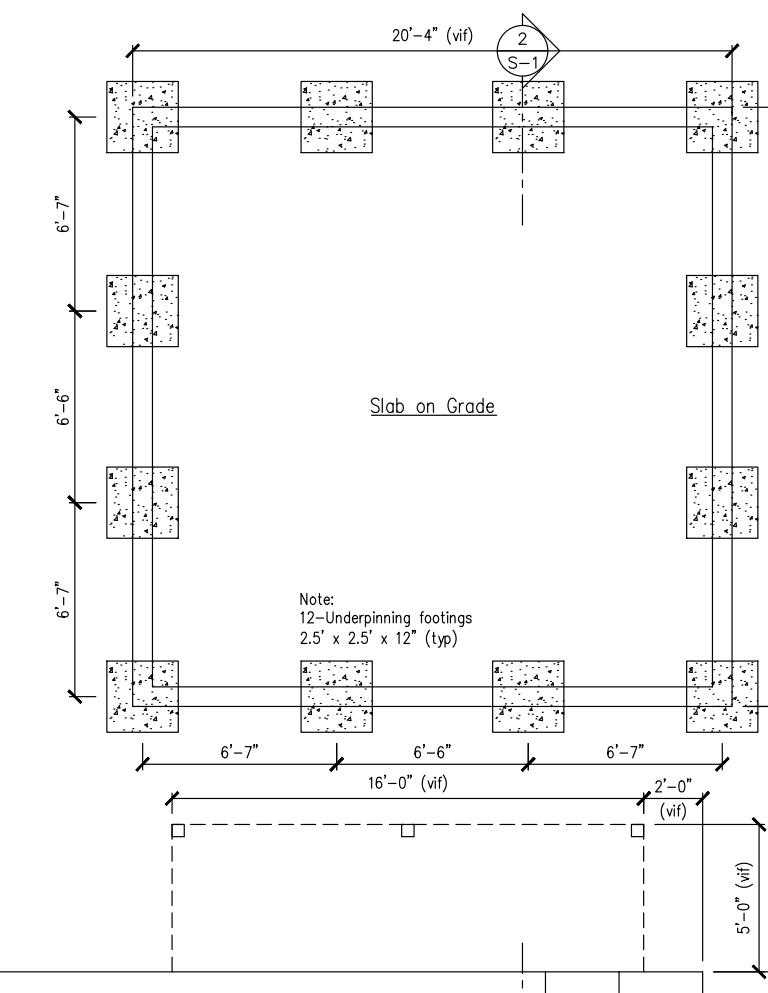
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Tel: 774.239.3657 PH-Fax: 774.321.6527									
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PROJECT Interior Renovation									
137 Pleasant Street Arlington, MA									
Building Sections, Details, and Notes									
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Date	3/2/21								
Job No.	XX								
A-3									
Sheet 7 of 7									



(2) Enlarged Section Detail
S-2 SCALE: 1" = 1'-0"



(1) Basement / Foundation Plan
S-1 SCALE: 1/4" = 1'-0"



J.R. Associates
63 Griggs Road
Sutton, MA 01590
(508) -865-6721

Sheet Name:

Footing Plan, and Detail

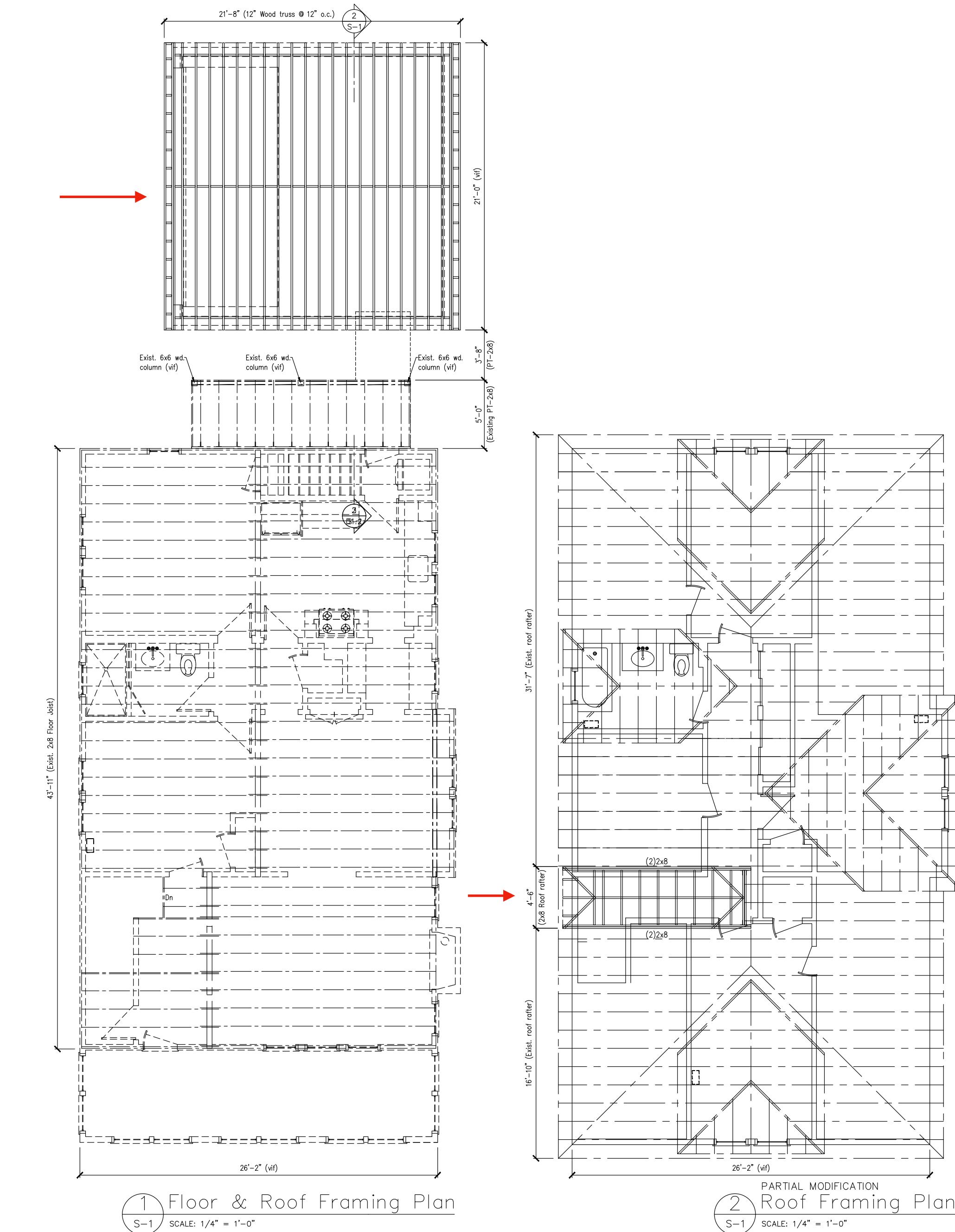
Location:

137 Pleasant Street
Arlington, MA

5-7-21

S-1

1-of-2



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Sutton, MA 01590
(508) -865-6721
Sheet Name:
Framing Plans, and Notes
Location:
137 Pleasant Street Arlington, MA
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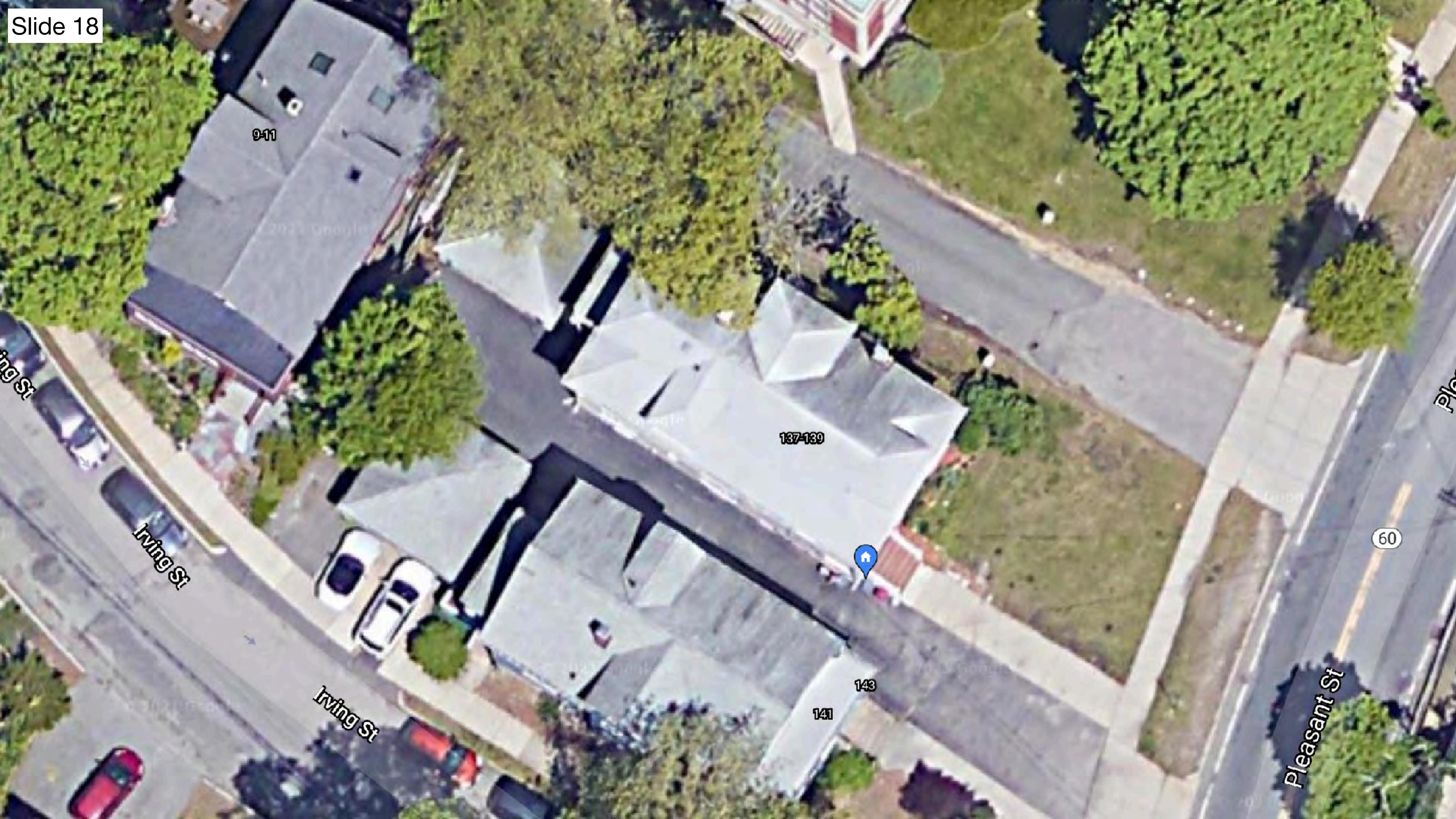


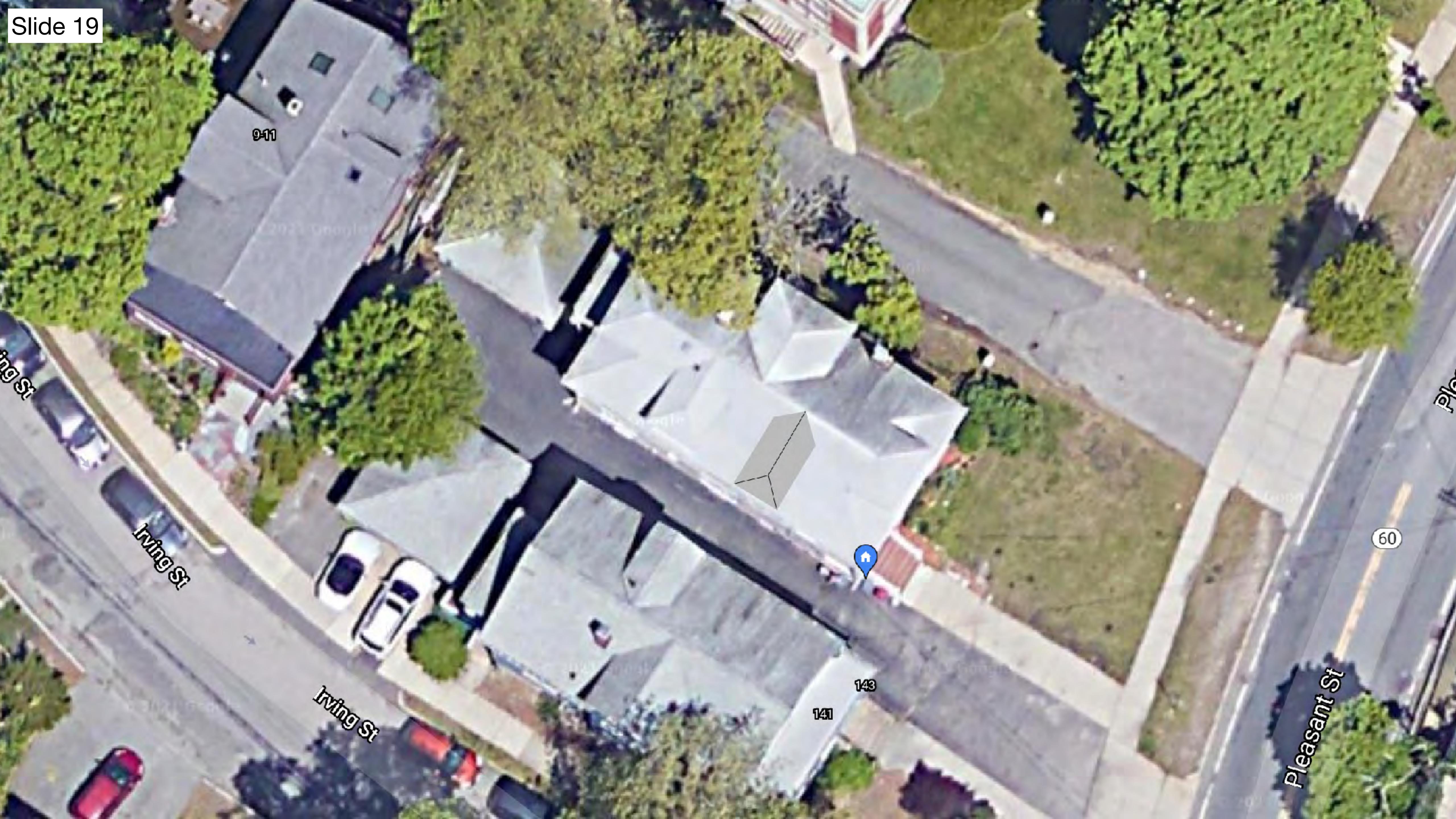
























48 Irving St



73 Jason St